



**TOWN OF BELLEAIR SHORE
TOWN MEETING
MONDAY, SEPTEMBER 21, 2026 – FOLLOWING AUDIT COMMITTEE MEETING
CITY OF BELLEAIR BLUFFS CONFERENCE ROOM
2747 SUNSET BLVD, BELLEAIR BLUFFS, FL 33770
AGENDA**

- 1.Consideration to Approve Agenda
- 2.Comments from the Public on any Agenda Item (3) THREE MINUTES
- 3.Approval of Meeting Minutes – July 21, 2026, Regular Meeting, July 21, 2026, Audit Committee Meeting and July 21, 2026, Workshop Meeting, and September 3, 2026, Budget Hearing
- 4.Sheriff's Report
- 5.Code Enforcement Report
- 6.Suncoast Fire Report
- 7.Treasurers Report – July and August 2026
- 8.Counsel Report
- 9.Variance Request – 980 Gulf Blvd – Stair Encroachment
- 10.Approve Selection of Auditor
- 11.Mayor/Commissioner Comment on Non-Agenda Items
- 12.Public Comment on Non-Agenda Items – (3) THREE MINUTES
13. Adjourn

POSTED AT – belleairshore.com and City of Belleair Bluffs

Any person who decides to appeal any decision of the Town Council with respect to any matter considered at any such meeting will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes that testimony and evidence upon which the appeal is to be based.



TOWN OF BELLEAIR SHORES
Budget Workshop Meeting – 5:30 P.M.
Tuesday, July 21, 2026
City of Belleair Bluffs Mayors Conference Room
2747 Sunset Blvd, Belleair Bluffs, FL 33770
MINUTES

Present, Commissioner Tolbert, Commissioner Cain, Vice Mayor Storie, Mayor Blume and Attorney Lewis.

Discussion – FY 2026/2027 Proposed Budget and Ad Valorem Tax

The commission was presented with different budgets showing different millage rate options. The commission discussed the need to raise the rate due to increased costs for services and not wanting to keep taking out of reserves to balance the budget. Following discussion, the commission was in consensus to propose the millage rate at 0.9354.

Respectfully submitted,

Mary Palmer

Town Clerk
Mary Palmer, MMC



TOWN OF BELLEAIR SHORES

Audit Committee Meeting – Following Budget Workshop Meeting

Tuesday, July 21, 2026

City of Belleair Bluffs Mayors Conference Room

2747 Sunset Blvd, Belleair Bluffs, FL 33770

MINUTES

Present, Commissioner Tolbert, Commissioner Cain, Vice Mayor Storie, Mayor Blume and Attorney Lewis. Absent, Commissioner Lally.

Discussion – Audit Committee Process

Attorney Lewis explained that the Town Commission was appointed as the Audit Committee at the last meeting. The Commission has been supplied with an RFP for audit services for review. The commission discussed the process of the Florida Statute for Audit Selection Services. After discussion, Commissioner Tolbert moved to approve the RFP, seconded by Vice Mayor Storie. The voice vote was unanimous.

Respectfully submitted,

Mary Palmer

Town Clerk

Mary Palmer, MMC



**TOWN OF BELLEAIR SHORE
TOWN MEETING
TUESDAY, JULY 21ST, 2026 – FOLLOWING AUDIT COMMITTEE MEETING
CITY OF BELLEAIR BLUFFS CONFERENCE ROOM
2747 SUNSET BLVD, BELLEAIR BLUFFS, FL 33770
MINUTES**

Present, Commissioner Tolbert, Commissioner Cain, Vice Mayor Storie, Mayor Blume and Attorney Lewis. Absent, Commissioner Lally.

Consideration to Approve Agenda

Commissioner Cain moved to approve the agenda, seconded by Commissioner Tolbert. The voice vote was unanimous.

Comments from the Public on any Agenda Item (3) THREE MINUTES

None

Approval of Meeting Minutes – June 16, 2026, Regular Meeting

Commissioner Tolbert moved to approve the minutes, seconded by Commissioner Cain. The voice vote was unanimous.

Sheriff's Report

Corporal Short reviewed the June report with the commission – There were 241 events in Belleair Shore with 243 units responding. There were no accidents and no arrests.

Code Enforcement Report

Deputy Trump reported for June – 40 entries were logged. Five property follow ups were completed, with three being closed. As requested, trespass issues have been approved to be added to the reports. Deputy Trump reported shift changes are happening, and he will personally get with all new deputies to go over things pertaining to Belleair Shore. Deputy Trump reported he worked the Off Duty Detail for July 4th, and it was busy.

Suncoast Fire Report

Chief Grimes reported he has prepared a Board Orientation Handbook for Commissioners to help understand who the district is and how it fits into the

countywide Fire and EMS system. Capital Projects are ongoing and they received approval from Pinellas County for the Tiki site for a new station.

Treasurers Report – June 2026

Town Clerk Palmer reviewed the report with the commission, noting nothing out of the ordinary. Commissioner Tolbert moved to approve the report, seconded by Commissioner Cain. The voice vote was unanimous.

Counsel Report

Attorney Lewis stated he will be finishing the legislation report for the commission and will report next month.

Discussion of Erosion Control Line Petition Denial

Attorney Lewis reported the petition was denied and he sent the commissioners the order of denial and extension request was approved. The extension is until August 7th. At this point, the commissioners need to decide whether they would like to petition for an Administrative Hearing. If the commissioners approve the Administrative Hearing Attorney Lewis suggest they hire an outside attorney who handles this type of law. Attorney Lewis also reported he has reached out to other attorneys seeking quotes. Commissioner Tolbert asked what would be involved in the hearing, Attorney Lewis stated he was not sure. The commission discussed the options. After discussion Vice Mayor Storie moved to proceed with filing the appeal, seconded by Commissioner Tolbert. The voice vote was unanimous. Vice Mayor Storie moved to appoint Mayor Blume to review and appoint the law firm, seconded by Commissioner Cain. The voice vote was unanimous.

Approve FY 2026/2027 Proposed Millage Rate and Advalorem Tax and FY 2026/2027 Proposed Budget

The commission held a workshop prior to the meeting discussing the proposed millage rate. Vice Mayor Storie moved to approve the proposed millage rate at .9354, seconded by Commissioner Tolbert. The voice vote was unanimous. Commissioner Tolbert moved to approve the proposed budget, seconded by Commissioner Cain. The voice vote was unanimous.

Approve FY 2026/2027 Law Enforcement/Code Enforcement Services – Pinellas County Sheriff's Department

Commissioner Tolbert moved to approve the FY 2026/2027 contract, seconded by Commissioner Cain. The voice vote was unanimous.

Approve to Renew Interlocal Agreement with Forward Pinellas

Commissioner Cain moved to approve the renewal of the existing agreement, seconded by Commissioner Tolbert. The voice vote was unanimous.

Approve Contract Extension with Waste Connections

Commissioner Tolbert moved to approve the extension, seconded by Commissioner Cain. The voice vote was unanimous.

Approve Contract Renewal with Civic Plus

Vice Mayor Storie moved to approve the renewal contracts, seconded by Commissioner Tolbert. The voice vote was unanimous.

Mayor/Commissioner Comment on Non-Agenda Items

Mayor Blume asked what the town ordinance has regarding short term rentals. Attorney Lewis will investigate this.

Public Comment on Non-Agenda Items – (3) THREE MINUTES

Frank Bankard, resident of Belleair Beach stated Indian Rocks Beach are for 90-days.

Respectfully submitted,

Mary Palmer

Mary Palmer, MMC
Town Clerk



TOWN OF BELLEAIR SHORE

Budget Hearing, Thursday, September 3, 2026 – 5:30 P.M.

City of Belleair Bluffs Mayors Conference Room

2747 Sunset Blvd, Belleair Bluffs, FL 33770

Minutes

Present: Vice Mayor Storie, Commissioner Lally, Commissioner Cain, Commissioner Tolbert and Mayor Blume.

Mayor Blume stated this is the First Public Hearing for the FY 2027 budget and opened the Public Hearing.

Resolution 02-2026 – Adopting a Tentative Millage and Advalorem Tax for FY2026/2027
Town Clerk Palmer read Resolution 02-2026 by title. Mayor Blume stated the milage rate has been increased to 0.9354, which is greater than the roll-back rate of 0.5143 mills by 81.88%. Mayor Blume stated the increase in the millage rate is due to the fact of increasing services along with other possible upcoming unexpected expenses. Mayor Blume opened the discussion to the Commission. Commission discussed the need for the increase, and all concur positively with the increase. Mayor Blume opened for public comment. Mayor Blume noted there is only one person in the audience and has no comment. Commissioner Tolbert moved to approve Resolution 02-2026, with the tentative millage rate of 0.9354, seconded by Vice Mayor Storie. The voice vote was unanimous.

Resolution 03-2026 – Adopting Tentative Budget for FY 2026/2027
Town Clerk Palmer read Resolution 03-2026 by title. Mayor Blume mentioned the law enforcement amount and the insurance amount. There is also an increase for the Town Clerk in the budget. Mayor Blume asked for any comments from the commission or public. There being none, Commissioner Lally moved to approve Resolution 03-2026, seconded by Commissioner Cain. The voice vote was unanimous.

There being no further business, Mayor Blume closed the public hearing.

Mary Palmer

Town Clerk
Mary Palmer, MMC



PINELLAS COUNTY SHERIFF'S REPORT

PINELLAS COUNTY SHERIFF'S OFFICE
BOB GUALTIERI, SHERIFF



STRATEGIC PLANNING SECTION

BELLEAIR SHORE MONTHLY ANALYSIS

Select UCR Property & Person Crimes

July 2026

Select UCR Property & Person Crimes	June 2026	July 2026	July 2025 YTD	July 2026 YTD
Murder	0	0	0	0
Sex Offenses	0	0	0	0
Robbery	0	0	0	0
Assaults	0	0	0	2
Burglary	0	0	0	0
Larceny	0	0	1	0
Motor Vehicle Theft	0	0	0	0
GRAND TOTAL	0	0	1	2

Prepared by: Casey Taylor

Data Source: ACISS: UCR Offenses with Occurred Address, Arrested Subjects

CAD: Crime Analysis Views, Crime Analysis Incident History (Dispo- 7), Vehicle Abandoned/Illegally Parked

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8/6/2026

Arrests

July 2026

There were ***NO*** people arrested in the City of Belleair Shore during the month of July.

Prepared by: Casey Taylor

Data Source: ACISS: UCR Offenses with Occurred Address, Arrested Subjects

CAD: Crime Analysis Views, Crime Analysis Incident History (Dispo- 7), Vehicle Abandoned/Illegally Parked

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8/6/2026

Deputy Activity

There was a total of **221** events in the City of Belleair Shore during the month of July resulting in **232** units responding.

The table below reflects the events to include both self-initiated and dispatched calls in the City of Belleair Shore for the month of July. *CAD data is filtered by problem type.

July 2026

DEPUTY ACTIVITY	TOTAL
Directed Patrol	146
House Check	17
Special Detail	11
Ordinance Violation	11
Vehicle Abandoned/Illegally Parked	9
Contact	9
Alarm	5
Area Check	4
911 Hangup Or Open Line	2
Trespass	2
Suspicious Person	2
Information/Other	2
Assist Motorist	1

Trespass For July 2026

CASE NUMBER	DATE/TIME	ADDRESS
SO26-215159	7/4/2026 19:21	1440 Gulf Blvd
SO26-215425	7/4/2026 23:21	1140 Gulf Blvd

Prepared by: Casey Taylor

Data Source: ACISS: UCR Offenses with Occurred Address, Arrested Subjects

CAD: Crime Analysis Views, Crime Analysis Incident History (Dispo- 7), Vehicle Abandoned/Illegally Parked

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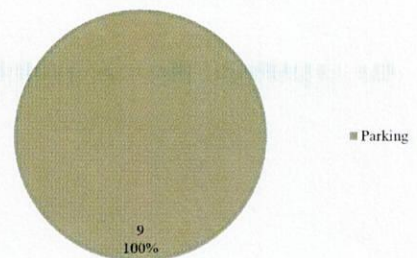
8/6/2026

Crash & Citation Analysis

There were **NO** crashes in the City of Belleair Shore during July 2026. **Crash data is filtered by disposition type and may include "accident and hit and run" problem types.*

There was a total of **9** parking citations issued in the City of Belleair Shore during July 2026.

Citations and Warnings



Prepared by: Casey Taylor

Data Source: ACISS: UCR Offenses with Occurred Address, Arrested Subjects

CAD: Crime Analysis Views, Crime Analysis Incident History (Dispo- 7), Vehicle Abandoned/Illegally Parked

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8/6/2026

PINELLAS COUNTY SHERIFF'S OFFICE
BOB GUALTIERI, SHERIFF



STRATEGIC PLANNING SECTION

BELLEAIR SHORE MONTHLY ANALYSIS

Select UCR Property & Person Crimes

August 2026

Select UCR Property & Person Crimes	July 2026	August 2026	August 2025 YTD	August 2026 YTD
Murder	0	0	0	0
Sex Offenses	0	0	0	0
Robbery	0	0	0	0
Assaults	0	0	0	2
Burglary	0	0	0	0
Larceny	0	0	1	0
Motor Vehicle Theft	0	0	0	0
GRAND TOTAL	0	0	1	2

Prepared by: Casey Taylor

Data Source: ACISS UCR Offenses with Occurred Address, Arrested Subjects

CAD: Crime Analysis Views, Crime Analysis Incident History (Dispo-7), Vehicle Abandoned/Illegally Parked

9/8/2026

Arrests

August 2026

There were ***NO*** people arrested in the City of Belleair Shore during the month of August.

Prepared by: Casey Taylor

Data Source: ACISS, UCR Offenses with Occurred Address, Arrested Subjects

CAD: Crime Analysis Views, Crime Analysis Incident History (Dispo- 7), Vehicle Abandoned/Illegally Parked

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9-8-2026

Deputy Activity

There was a total of **207** events in the City of Belleair Shore during the month of August resulting in **215** units responding.

The table below reflects the events to include both self-initiated and dispatched calls in the City of Belleair Shore for the month of August. *CAD data is filtered by problem type.

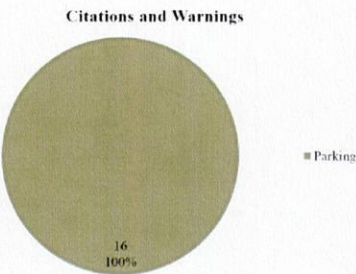
August 2026

DEPUTY ACTIVITY	TOTAL
Directed Patrol	135
House Check	24
Contact	10
Ordinance Violation	8
Special Detail	8
Vehicle Abandoned/Illegally Parked	8
Area Check	6
Alarm	4
Assist Citizen	2
Supplement	1
911 Hangup Or Open Line	1

Crash & Citation Analysis

There were *NO* crashes in the City of Belleair Shore during August 2026. **Crash data is filtered by disposition type and may include "accident and hit and run" problem types.*

There was a total of *16* parking citations issued in the City of Belleair Shore during August 2026.





CODE ENFORCEMENT REPORT

DATE	ADDRESS	DESCRIPTION	CASE NOTES/ACTION	STATUS
08/01/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-237096 - SEE BELOW	
	1880 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-247118 - 1880 GULF BLVD - DIRECTED PATROL / 19TH STREET ACCESS - No vehicles in lot. Very few beachgoers due to weather. No violations.	NEW / CLOSED
	600 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-247153 - 600 GULF BLVD - DIRECTED PATROL / 6TH STREET BEACH ACCESS - No vehicles in parking lot, no pedestrians. No beachgoers. No violations.	NEW / CLOSED
	40 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-247161 - 40 GULF BLVD - DIRECTED PATROL / SOUTH CITY LIMIT - South city limit check and neighboring residence. A few beach goers. No violations observed.	NEW / CLOSED
	1060 GULF BLVD	CONSTRUCTION NUISANCE	8026-247169 - 1060 GULF BLVD - CONSTRUCTION NUISANCE - (Contact with AAA Services (Tayler) regarding having large advertisement sign removed. She stated that she passed request on to owner and manager. Sign crews have not been in area to remove it. She will pass on second request. Will monitor. Note contact with property owner regarding landscaping. She stated she located company to trim and cut and it will hopefully be accomplished within the week.	FTU - OPEN
08/07/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-251402 - SEE BELOW	
	1300 GULF BLVD	DIRECTED PATROL / BEACH PATROL / ATV	8026-251409 - 1300 GULF BLVD / 444 CAUSEWAY BLVD - DIRECTED PATROL / BEACH PATROL / ATV - Beach enforcement patrol throughout Belleair Shores and Belleair Beach. Light foot traffic. No violations observed.	NEW / CLOSED
08/10/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-254569 - SEE BELOW	
	600 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-254591 - 600 GULF BLVD - DIRECTED PATROL / 6TH STREET BEACH ACCESS - No vehicles in parking lot. Two bicycles by seawall. No persons observed. No violations on beach area. Light foot traffic.	NEW / CLOSED
	900 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-254613 - 900 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Vacant lot. Second notice posted at location regarding overgrown landscaping. Possible preparations for building as port-a-potty has recently been placed on lot. Will FTU.	FTU - OPEN
	1060 GULF BLVD	FTU ORD VIOL. / ILLEGAL SIGNAGE	8026-254673 - 1060 GULF BLVD - ORDINANCE VIOLATION / UNLAWFUL SIGNAGE - 421 Voice Message left for AAA Services regarding billboard type advertisement sign posted on property in attempt to have it removed. Will FTU.	NEW - OPEN
08/14/26	1880 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-254682 - 1880 GULF BLVD - DIRECTED PATROL / 19TH STREET ACCESS - (1) One permitted vehicle in lot. Very light foot traffic on beach area. No violations observed.	NEW / CLOSED
	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-259784 - SEE BELOW	
	1300 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-259784 - 1880 GULF BLVD - DIRECTED PATROL / 19TH STREET ACCESS - No vehicles in lot. One pedestrian sitting by park benches. Few beachgoers. Light foot traffic. No violations observed.	NEW / CLOSED
	1300 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-259803 - 1300 GULF BLVD - DIRECTED PATROL / 12TH STREET ACCESS - No vehicles in parking lot. No pedestrians. Very light foot traffic on beach area. No violations observed.	NEW / CLOSED
	1060 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-259822 - 1060 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Reinspection of the property noted that the grass and bushes along the right of way have been put and trimmed and in compliance. Email from owner noted that it was completed. Closed.	FTU - CLOSED
	1060 GULF BLVD	ORD VIOL. / TEMPORARY SIGNAGE	8026-1060 GULF BLVD - ORDINANCE VIOLATION / TEMPORARY SIGNAGE IN RIGHT OF WAY - Temporary signage was noted in right of way in front of vacant lot. Sign removed. Closed.	NEW / CLOSED
	114 16TH STREET	BU - ASSIST PATROL UNITS	8026-259846 - 114 16TH STREET - ASSIST PATROL - BU REPRESENTATIVE SINGROS PERSON - Check up patrol units reference a call from friend complainant stating suspicious person loitering on her door. Person located across street at neighbors house. Person looking for her friends house and originally at the wrong house.	NEW / CLOSED
08/18/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-264032 - SEE BELOW	
	900 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-264082 - 900 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Reinspection of the stated property following Code Violation Letter sent by City. Right of way has been cut and trimmed and in compliance. Closed.	FTU - CLOSED
	960 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-264091 - 960 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Reinspection of the stated property following Code Violation Letter sent by City. Right of way has been cut and trimmed and in compliance. Closed.	FTU - CLOSED
	1300 GULF BLVD	PARKING VIOLATION	8026-264127 - 1300 GULF BLVD - ILLEGALLY PARKED VEHICLE - FLPA19 vehicle parked in access lot with no permit. Owner was located and found to be working at the residence at 1260 Gulf Blvd. NFA. No citation.	NEW - CLOSED
1880 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-264136 - 1880 GULF BLVD - DIRECTED PATROL / FOOT PATROL - One permitted vehicle. No pedestrians in lot. Very light foot traffic on beach area. No violations observed.	NEW / CLOSED	
08/20/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-266556 - SEE BELOW	
	1880 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-266614 - 1880 GULF BLVD - DIRECTED PATROL / 19TH STREET ACCESS - No vehicles in lot. No pedestrians. Very light foot traffic along beach area. No violations noted.	NEW / CLOSED
	1440 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-266631 - 1440 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Previous contact with project manager oversteering vacant lots (distance high grass and weed along right of way. Lots have been cut and trimmed and in compliance. Closed).	FTU - CLOSED
	40 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-266644 - 40 GULF BLVD - DIRECTED PATROL / SOUTH CITY LIMITS - Directed patrol south city limits. No foot traffic on beach area at this time possibly due to coming storm.	NEW / CLOSED
	40 GULF BLVD	INFORMATION / HOUSE CHECK	8026-Home was checked and appeared secure. Contact made with owner as older forepunks and possibly cart tracks were observed on north side of vacant home. Owner advised responses were observed on cameras a few days ago but subject left prior to LEO arrival. Cable lock on gate was secured tighter as one could actually squeeze and walk through. Will monitor.	NEW / CLOSED
	600 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-266686 - 600 GULF BLVD - DIRECTED PATROL / 6TH ST ACCESS - No vehicles in lot. No pedestrians. Very light foot traffic along beach area. No violations.	NEW / CLOSED
08/23/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-271555 - SEE BELOW	
	1300 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-271637 - 40 GULF BLVD - DIRECTED PATROL / SOUTH CITY LIMIT - Very light foot traffic along beach area. No violations noted.	NEW / CLOSED
	600 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-271639 - 600 GULF BLVD - DIRECTED PATROL / 6TH STREET ACCESS - (1) Permitted vehicle. No pedestrians. No persons on immediate beach area. No violations observed.	NEW / CLOSED
	960 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-271677 - 960 GULF BLVD - FOLLOW UP LANDSCAPE VIOLATIONS - Phone contact with landscaper for 960 and 900 Gulf Blvd. Josh Driver 77-487-9692 - Noted that he has taken over the contract for the landscaping at beaches and wanted Code Enforcement that he has put the lots on a regular schedule to address landscaping along right-of-way to mitigate and further violations. NFI.	FTU - CLOSED
	300 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8016-271718 - 300 AND 660 GULF BLVD - ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Phone contact with Alvarez Homes requesting that landscape area along right of way of Gulf Blvd be cut and trimmed. Contact advised she would pass request on to superintendent. Will Monitor.	NEW / OPEN
	660 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-271718 - 300 AND 660 GULF BLVD - ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Phone contact with Alvarez Homes requesting that landscape area along right of way of Gulf Blvd be cut and trimmed. Contact advised she would pass request on to superintendent. Will Monitor.	NEW / OPEN
	960 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-271677 - 960 GULF BLVD - FOLLOW UP LANDSCAPE VIOLATIONS - Phone contact with landscaper for 960 and 900 Gulf Blvd. Josh Driver 77-487-9692 - Noted that he has taken over the contract for the landscaping at beaches and wanted Code Enforcement that he has put the lots on a regular schedule to address landscaping along right-of-way to mitigate and further violations. NFI.	FTU - CLOSED
08/26/26	1300 GULF BLVD	CODE ENFORCEMENT DUTIES	8026-273897 - SEE BELOW	
	400 GULF BLVD	ORD VIOL. / UNKEMPT LANDSCAPE	8026-273952 - 400 GULF BLVD - ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Contact with builder "Safed Design and Build" regarding landscaping along Gulf Blvd right-of-way becoming overgrown. Contact at office stated she would share request with project manager and address the issue. Will FTU.	NEW / OPEN
	300 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-272960 - 300 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Previous phone contact with contractor "Alvarez Homes" regarding unkempt landscape along Gulf Blvd right-of-way. Area has been cut and trimmed and in compliance. Closed.	FTU - CLOSED
	1880 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-272973 - 1880 GULF BLVD - DIRECTED PATROL / 19TH STREET BEACH ACCESS - No vehicles in lot. One pedestrian sitting in park on benches. Very light foot traffic on beach area. No violations observed.	NEW / CLOSED
	1300 GULF BLVD	DIRECTED PATROL / FOOT PATROL	8026-273007 - 1300 GULF BLVD - DIRECTED PATROL / 12TH STREET ACCESS - Checked two permitted vehicles (motor cycle scooters) in lot. No pedestrians. Very light foot traffic along beach area. No violations observed.	NEW / CLOSED
	660 GULF BLVD	FTU ORD VIOL. / UNKEMPT LANDSCAPE	8026-273018 - 660 GULF BLVD - FOLLOW UP ORDINANCE VIOLATION / UNKEMPT LANDSCAPE - Previous phone contact with contractor "Alvarez Homes" regarding unkempt landscape along Gulf Blvd right-of-way. Area has been cut and trimmed and in compliance. Closed.	FTU - CLOSED

Management Report

Town of Belleair Shore

JULY 2026



Prepared by

Mary Palmer

Prepared on

August 5, 2026

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Profit and Loss

July 2026

	Total
INCOME	
311.000 Ad Valorem Taxes	16.41
312.410 Local Option Gas Tax	139.65
312.600 Infrastructure Tax	1,045.34
315.000 Communications Services Taxes	109.12
322.000 Building Permits	500.00
335.120 State Revenue Sharing	146.45
335.180 Local Gov't. 1/2 Cent Sales Tax	445.05
351.100 Court Fines	650.00
361.100 Interest	2,408.97
369.900 Miscellaneous Revenue	483.63
Total Income	5,944.62
GROSS PROFIT	5,944.62
EXPENSES	
512.100 Personnel Services	1,575.00
512.110 Taxes - FICA & Medicare	120.48
512.300 General Operating Expense	503.51
513.300 Financial Operating Expenses	5.00
513.320 Office Supplies	659.26
514.310 Professional Services - Legal	8,034.00
515.310 Planning Operating – Professional Services	131.70
521.300 Law Enforcement Contract	2,821.00
531.300 Electric Utility Services	244.77
534.300 Garbage/Solid Waste Control Svc	1,269.39
575.300 Code Enforcement	1,019.68
576.300 Planning Services/Advertising	172.00
Total Expenses	16,555.79
NET OPERATING INCOME	-10,611.17
NET INCOME	\$ -10,611.17

Balance Sheet

As of July 31, 2026

	Total
ASSETS	
Current Assets	
Bank Accounts	
101.002 LGIP (State Board of Admin)	0.00
Pool A	668,926.72
Total 101.002 LGIP (State Board of Admin)	668,926.72
101.005 Valley Bank	63,317.63
Total Bank Accounts	732,244.35
Other Current Assets	
105.100 A/R - County Revenue	284.37
105.200 A/R - State Revenue	697.17
QuickBooks Tax Holding Account	869.96
Total Other Current Assets	1,851.50
Total Current Assets	734,095.85
Other Assets	
137.000 Prepaid Items	15,287.98
Total Other Assets	15,287.98
TOTAL ASSETS	\$749,383.83
LIABILITIES AND EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	
200.000 *Accounts Payable	3,008.65
Total Accounts Payable	3,008.65
Other Current Liabilities	
240.000 Payroll Liabilities	
240.100 Federal Taxes (941/943/944)	410.11
240.200 Federal Unemployment (940)	283.50
Total 240.000 Payroll Liabilities	693.61
250.000 Direct Deposit Payable	-652.25
Salaries Payable 251.000	250.00
Total Other Current Liabilities	291.36
Total Current Liabilities	3,300.01
Total Liabilities	3,300.01
Equity	
271.000 Fund Balance	674,820.62
32000 Retained Earnings	56,053.15
Net Income	15,210.05
Total Equity	746,083.82
TOTAL LIABILITIES AND EQUITY	\$749,383.83

Town of Belleair Shore

Budget vs. Actuals: Budget_FY26_P&L - FY26 P&L

October 2025 - July 2026

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
Income				
311.000 Ad Valorem Taxes	137,488.17	114,332.50	23,155.67	120.25 %
312.410 Local Option Gas Tax	1,517.35	1,708.30	-190.95	88.82 %
312.600 Infrastructure Tax	14,236.79	15,000.00	-763.21	94.91 %
315.000 Communications Services Taxes	1,324.46	1,725.80	-401.34	76.74 %
322.000 Building Permits	8,500.00	5,000.00	3,500.00	170.00 %
335.120 State Revenue Sharing	1,579.10	2,250.00	-670.90	70.18 %
335.180 Local Gov't. 1/2 Cent Sales Tax	4,390.66	5,196.70	-806.04	84.49 %
351.100 Court Fines	8,305.00	5,000.00	3,305.00	166.10 %
361.100 Interest	22,382.90	20,833.30	1,549.60	107.44 %
369.900 Miscellaneous Revenue	744.28	0.00	744.28	
389.000 Uncategorized Income		0.00	0.00	
Total Income	\$200,468.71	\$171,046.60	\$29,422.11	117.20 %
GROSS PROFIT	\$200,468.71	\$171,046.60	\$29,422.11	117.20 %
Expenses				
512.100 Personnel Services	15,712.50	15,750.00	-37.50	99.76 %
512.110 Taxes - FICA & Medicare	1,485.51	1,205.00	280.51	123.28 %
512.300 General Operating Expense	8,184.11	9,666.70	-1,482.59	84.66 %
512.450 Insurance	56,360.00	45,833.30	10,526.70	122.97 %
513.300 Financial Operating Expenses	1,772.00	1,900.00	-128.00	93.26 %
513.310 Professional Svcs. - Accounting	8,950.00	7,083.30	1,866.70	126.35 %
513.320 Office Supplies	1,093.50	833.30	260.20	131.23 %
513.330 Dues & Memberships	859.00	1,250.00	-391.00	68.72 %
514.310 Professional Services - Legal	29,032.20	16,666.70	12,365.50	174.19 %
515.310 Planning Operating – Professional Services	3,654.69	1,250.00	2,404.69	292.38 %
521.300 Law Enforcement Contract	28,210.00	28,210.00	0.00	100.00 %
521.302 Law Enforcement Contract Secondary	1,980.00	0.00	1,980.00	
531.300 Electric Utility Services	2,270.51	3,000.00	-729.49	75.68 %
534.300 Garbage/Solid Waste Control Svc	12,695.84	12,495.80	200.04	101.60 %
539.300 Physical Environment - Other	3,974.68	416.70	3,557.98	953.85 %
572.300 Gate Maintenance	64.10		64.10	
574.300 Contingencies		15,485.80	-15,485.80	
575.300 Code Enforcement	10,394.96	8,333.30	2,061.66	124.74 %
576.300 Planning Services/Advertising	744.40	1,666.70	-922.30	44.66 %
Total Expenses	\$187,438.00	\$171,046.60	\$16,391.40	109.58 %
NET OPERATING INCOME	\$13,030.71	\$0.00	\$13,030.71	0.00%
Other Expenses				
Reconciliation Discrepancies	-2,179.34		-2,179.34	
Total Other Expenses	\$ -2,179.34	\$0.00	\$ -2,179.34	0.00%
NET OTHER INCOME	\$2,179.34	\$0.00	\$2,179.34	0.00%
NET INCOME	\$15,210.05	\$0.00	\$15,210.05	0.00%

Town of Belleair Shore

Budget vs. Actuals: Budget_FY26_P&L - FY26 P&L

July 2026

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
Income				
311.000 Ad Valorem Taxes	16.41	11,433.25	-11,416.84	0.14 %
312.410 Local Option Gas Tax	139.65	170.83	-31.18	81.75 %
312.600 Infrastructure Tax	1,045.34	1,500.00	-454.66	69.69 %
315.000 Communications Services Taxes	109.12	172.58	-63.46	63.23 %
322.000 Building Permits	500.00	500.00	0.00	100.00 %
335.120 State Revenue Sharing	146.45	225.00	-78.55	65.09 %
335.180 Local Gov't. 1/2 Cent Sales Tax	445.05	519.67	-74.62	85.64 %
351.100 Court Fines	650.00	500.00	150.00	130.00 %
361.100 Interest	2,408.97	2,083.33	325.64	115.63 %
369.900 Miscellaneous Revenue	483.63	0.00	483.63	
389.000 Uncategorized Income		0.00	0.00	
Total Income	\$5,944.62	\$17,104.66	\$ -11,160.04	34.75 %
GROSS PROFIT	\$5,944.62	\$17,104.66	\$ -11,160.04	34.75 %
Expenses				
512.100 Personnel Services	1,575.00	1,575.00	0.00	100.00 %
512.110 Taxes - FICA & Medicare	120.48	120.50	-0.02	99.98 %
512.300 General Operating Expense	503.51	966.67	-463.16	52.09 %
512.450 Insurance		4,583.33	-4,583.33	
513.300 Financial Operating Expenses	5.00	190.00	-185.00	2.63 %
513.310 Professional Svcs. - Accounting		708.33	-708.33	
513.320 Office Supplies	659.26	83.33	575.93	791.14 %
513.330 Dues & Memberships		125.00	-125.00	
514.310 Professional Services - Legal	8,034.00	1,666.67	6,367.33	482.04 %
515.310 Planning Operating – Professional Services	131.70	125.00	6.70	105.36 %
521.300 Law Enforcement Contract	2,821.00	2,821.00	0.00	100.00 %
521.302 Law Enforcement Contract Secondary		0.00	0.00	
531.300 Electric Utility Services	244.77	300.00	-55.23	81.59 %
534.300 Garbage/Solid Waste Control Svc	1,269.39	1,249.58	19.81	101.59 %
539.300 Physical Environment - Other		41.67	-41.67	
574.300 Contingencies		1,548.58	-1,548.58	
575.300 Code Enforcement	1,019.68	833.33	186.35	122.36 %
576.300 Planning Services/Advertising	172.00	166.67	5.33	103.20 %
Total Expenses	\$16,555.79	\$17,104.66	\$ -548.87	96.79 %
NET OPERATING INCOME	\$ -10,611.17	\$0.00	\$ -10,611.17	0.00%
NET INCOME	\$ -10,611.17	\$0.00	\$ -10,611.17	0.00%

Town of Belleair Shore

101.005 Valley Bank, Period Ending 07/31/2026

RECONCILIATION REPORT

Reconciled on: 08/05/2026

Reconciled by: clerkbelleairshore@gmail.com

Any changes made to transactions after this date aren't included in this report.

Summary

USD

Statement beginning balance	91,240.02
Interest earned	235.94
Checks and payments cleared (18)	-17,403.54
Deposits and other credits cleared (9)	3,535.65
Statement ending balance	77,608.07

Uncleared transactions as of 07/31/2026	-14,290.44
Register balance as of 07/31/2026	63,317.63

Details

Checks and payments cleared (18)

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
07/01/2026	Payroll Check	DD	Mary Palmer	-652.26
07/01/2026	Tax Payment		Intuit QuickBooks Workforce	-195.48
07/03/2026	Expense		Intermedia	-90.83
07/15/2026	Expense		Duke Energy	-244.77
07/16/2026	Tax Payment		Intuit QuickBooks Workforce	-195.48
07/16/2026	Payroll Check	DD	Mary Palmer	-652.26
07/23/2026	Check	0287	White Hat Info Tech Corporation	-93.75
07/23/2026	Check	0289	Dabiri Designs	-85.00
07/23/2026	Check	0292	Tampa Bay Times	-172.00
07/23/2026	Check	0291	SafeBuilt/M.T. Causley, LLC	-131.70
07/23/2026	Check	0290	Pinellas County Sheriff's Office	-3,840.68
07/23/2026	Check	0286	Pinellas County Tax Collector	-94.04
07/23/2026	Check	0288	Persson, Cohen, mooney, Fer...	-3,034.00
07/24/2026	Expense		SMOLKER MATHEWS, P.A.	-5,000.00
07/28/2026	Expense		Valley 1 Card	-804.15
07/29/2026	Expense		Waste Connections of Florida	-1,269.39
07/31/2026	Payroll Check	DD	Mary Palmer	-652.25
07/31/2026	Tax Payment		Intuit QuickBooks Workforce	-195.50
Total				-17,403.54

Deposits and other credits cleared (9)

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
07/01/2026	Deposit		Civitek	27.27
07/07/2026	Deposit			18.18
07/07/2026	Deposit		Civitek	500.00
07/23/2026	Deposit		Pinellas County BCC	16.41
07/23/2026	Deposit		Clerk of the Circuit Court	650.00
07/24/2026	Deposit		State of Florida	700.62
07/24/2026	Deposit		U.S. Treasury	420.00
07/27/2026	Deposit		Carlos Moncada	18.18
07/30/2026	Deposit		Pinellas County BCC	1,184.99
Total				3,535.65

Additional Information

Uncleared checks and payments as of 07/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
08/02/2024	Expense	Inv. 53968	United Mini of Clearwater	-80.00
08/23/2024	Expense		United Mini of Clearwater	-80.00
09/30/2024	Journal	AJE - 04		-150.01
09/30/2024	Journal	AJE - 04		-176.60
10/15/2024	Expense		Verizon	-40.44
05/27/2026	Expense		Florida Municipal Insurance Tr...	-14,090.00
Total				-14,617.05

Uncleared deposits and other credits as of 07/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
04/30/2024	Deposit		State of Florida	176.60
04/30/2024	Deposit		State of Florida	150.01
Total				326.61

Town of Belleair Shore

Pool A, Period Ending 07/31/2026

RECONCILIATION REPORT

Reconciled on: 08/05/2026

Reconciled by: clerkbelleairshore@gmail.com

Any changes made to transactions after this date aren't included in this report.

Summary		USD
Statement beginning balance		666,753.69
Interest earned		2,173.03
Checks and payments cleared (0)		0.00
Deposits and other credits cleared (0)		0.00
Statement ending balance		668,926.72
Uncleared transactions as of 07/31/2026		0.00
Register balance as of 07/31/2026		668,926.72

Additional Information

Uncleared checks and payments as of 07/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
10/01/2023	Journal	Correct Florida Prime		-1,582.00
02/29/2024	Deposit		Florida Prime Investments Svc	-2,209.18
Total				-3,791.18

Uncleared deposits and other credits as of 07/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
09/30/2023	Journal	10 Adjusting JE		1,582.00
02/08/2024	Journal	Closed Money Market		0.00
02/29/2024	Deposit		Florida Prime Investments Svc	2,209.18
Total				3,791.18

Town of Belleair Shore

Check Detail Report

July 2026

Transaction date	Transaction type	Num	Name	Description	Cleared	Amount
101.005 Valley Bank						
07/01/2026	Payroll Check	DD	Mary Palmer	Pay Period: 06/26/2026-07/10/2026	Reconciled	-652.26
07/01/2026	Payroll Check	DD	Mary Palmer	Direct Deposit	Uncleared	-652.26
07/01/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Reconciled	-195.48
07/01/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Uncleared	195.48
07/03/2026	Expense		Intermedia	EMAIL ARCHIVING AND SERVICES JUNE 2 - JULY 1, 2026	Reconciled	-90.83
07/03/2026	Expense		Intermedia			90.83
07/15/2026	Expense		Duke Energy	For Service Jun 12 - Jul 14, 2026	Reconciled	-244.77
07/15/2026	Expense		Duke Energy	Service		244.77
07/16/2026	Payroll Check	DD	Mary Palmer	Pay Period: 07/11/2026-07/25/2026	Reconciled	-652.26
07/16/2026	Payroll Check	DD	Mary Palmer	Direct Deposit	Uncleared	-652.26
07/16/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Reconciled	-195.48
07/16/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Uncleared	195.48
07/23/2026	Check	0286	Pinellas County Tax Collector		Reconciled	-94.04
07/23/2026	Check	0286	Pinellas County Tax Collector	Refund to Taxpayer		94.04
07/23/2026	Check	0287	White Hat Info Tech Corporation	Invoice 3924	Reconciled	-93.75
07/23/2026	Check	0287	White Hat Info Tech Corporation	Remote Computer Service		93.75
07/23/2026	Check	0288	Persson, Cohen, mooney, Fernandez & Jackson, P.A.	Invoice 7196	Reconciled	-
07/23/2026	Check	0288	Persson, Cohen, mooney, Fernandez & Jackson, P.A.	Legal Fees		3,034.00
07/23/2026	Check	0289	Dabiri Designs	Invoice 0064-2026-07	Reconciled	-85.00
07/23/2026	Check	0289	Dabiri Designs	Website Service		85.00
07/23/2026	Check	0290	Pinellas County Sheriff's Office	Invoice Law 1792720 Invoice Code 1796003	Reconciled	-
07/23/2026	Check	0290	Pinellas County Sheriff's Office	Law Enforcement		3,840.68
07/23/2026	Check	0290	Pinellas County Sheriff's Office	Code Enforcement		2,821.00
07/23/2026	Check	0291	SafeBuilt/M.T. Causley, LLC	Invoice 4136772	Reconciled	1,019.68
07/23/2026	Check	0291	SafeBuilt/M.T. Causley, LLC	Plan Review Fees		-131.70
07/23/2026	Check	0292	Tampa Bay Times	Invoice 97098-072226	Reconciled	131.70
07/23/2026	Check	0292	Tampa Bay Times	Ad for Audit Services		-172.00
07/23/2026	Check	0292	Tampa Bay Times			172.00
07/24/2026	Expense		SMOLKER MATHEWS, P.A.	RETAINER FEE	Reconciled	-
07/24/2026	Expense		SMOLKER MATHEWS, P.A.	ECL APPEAL		5,000.00
07/28/2026	Expense		Valley 1 Card		Reconciled	-804.15
07/28/2026	Expense		Valley 1 Card			139.89
07/28/2026	Expense		Valley 1 Card			659.26
07/28/2026	Expense		Valley 1 Card			5.00
07/29/2026	Expense		Waste Connections of Florida	Invoice 4418946W416	Reconciled	-
07/29/2026	Expense		Waste Connections of Florida	Service		1,269.39
07/31/2026	Payroll Check	DD	Mary Palmer	Pay Period: 07/26/2026-08/10/2026	Reconciled	-652.25

Town of Belleair Shore

Check Detail Report

July 2026

Transaction date	Transaction type	Num	Name	Description	Cleared	Amount
07/31/2026	Payroll Check	DD	Mary Palmer	Direct Deposit	Uncleared	-652.25
07/31/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Reconciled	-195.50
07/31/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Uncleared	195.50



Belleair Shores, FL, Town of
Attn: Palmer, Mary
1200 Gulf Blvd
Belleair Shores, FL 337863351
clerk@belleairshore.com

Invoice**Invoice Number:** 4136772**Invoice Date:** 6/30/2026**Terms:** Net 30 Days**Due Date:** 7/30/2026**Customer #:** AJ-0012069**Customer PO #:****Planning and Zoning Services
Summary**

Description	Current Amount
Plan Review	\$131.70
Invoice Total	\$131.70

Supporting Detail**Plan Review**

Bruce Cooper | Multiple Licenses

Date	Units	Rate	Amount	Notes
6/2/2026	1.00	\$131.70	\$131.70	320 gulf
Subtotal	1.00		\$131.70	

Please remit to:
P.O BOX 919903
Orlando, FL 32891-9903

Net Invoice:	\$131.70
Freight:	\$0.00
Sales Tax:	\$0.00
Invoice Total:	\$131.70

Management Report

Town of Belleair Shore

August 2026



Prepared by

Mary Palmer

Prepared on

September 5, 2026

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Profit and Loss

August 2026

	Total
INCOME	
312.410 Local Option Gas Tax	139.82
312.600 Infrastructure Tax	2,019.47
315.000 Communications Services Taxes	133.47
322.000 Building Permits	1,500.00
335.120 State Revenue Sharing	279.90
335.180 Local Gov't. 1/2 Cent Sales Tax	457.19
351.100 Court Fines	831.00
361.100 Interest	2,377.73
Total Income	7,738.58
GROSS PROFIT	7,738.58
EXPENSES	
512.100 Personnel Services	1,575.00
512.110 Taxes - FICA & Medicare	120.49
512.300 General Operating Expense	401.43
513.300 Financial Operating Expenses	5.00
514.310 Professional Services - Legal	13,949.47
515.310 Planning Operating – Professional Services	790.20
521.300 Law Enforcement Contract	2,821.00
531.300 Electric Utility Services	244.77
534.300 Garbage/Solid Waste Control Svc	1,269.39
575.300 Code Enforcement	1,019.68
Total Expenses	22,196.43
NET OPERATING INCOME	-14,457.85
NET INCOME	\$ -14,457.85

Balance Sheet

As of August 31, 2026

		Total
ASSETS		
Current Assets		
Bank Accounts		
101.002 LGIP (State Board of Admin)		0.00
Pool A		671,112.83
Total 101.002 LGIP (State Board of Admin)		671,112.83
101.005 Valley Bank		47,521.42
Total Bank Accounts		718,634.25
Other Current Assets		
105.100 A/R - County Revenue		284.37
105.200 A/R - State Revenue		697.17
QuickBooks Tax Holding Account		674.48
Total Other Current Assets		1,656.02
Total Current Assets		720,290.27
Other Assets		
137.000 Prepaid Items		15,287.98
Total Other Assets		15,287.98
TOTAL ASSETS		\$735,578.25
LIABILITIES AND EQUITY		
Liabilities		
Current Liabilities		
Accounts Payable		
200.000 *Accounts Payable		3,008.65
Total Accounts Payable		3,008.65
Other Current Liabilities		
240.000 Payroll Liabilities		
240.100 Federal Taxes (941/943/944)		410.13
240.200 Federal Unemployment (940)		283.50
Total 240.000 Payroll Liabilities		693.63
Salaries Payable 251.000		250.00
Total Other Current Liabilities		943.63
Total Current Liabilities		3,952.28
Total Liabilities		3,952.28
Equity		
271.000 Fund Balance		674,820.62
32000 Retained Earnings		56,053.15
Net Income		752.20
Total Equity		731,625.97
TOTAL LIABILITIES AND EQUITY		\$735,578.25

Town of Belleair Shore

Budget vs. Actuals: Budget_FY26_P&L - FY26 P&L

August 2026

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
Income				
311.000 Ad Valorem Taxes		11,433.25	-11,433.25	
312.410 Local Option Gas Tax	139.82	170.83	-31.01	81.85 %
312.600 Infrastructure Tax	2,019.47	1,500.00	519.47	134.63 %
315.000 Communications Services Taxes	133.47	172.58	-39.11	77.34 %
322.000 Building Permits	1,500.00	500.00	1,000.00	300.00 %
335.120 State Revenue Sharing	279.90	225.00	54.90	124.40 %
335.180 Local Gov't. 1/2 Cent Sales Tax	457.19	519.67	-62.48	87.98 %
351.100 Court Fines	831.00	500.00	331.00	166.20 %
361.100 Interest	2,377.73	2,083.33	294.40	114.13 %
369.900 Miscellaneous Revenue		0.00	0.00	
389.000 Uncategorized Income		0.00	0.00	
Total Income	\$7,738.58	\$17,104.66	\$ -9,366.08	45.24 %
GROSS PROFIT	\$7,738.58	\$17,104.66	\$ -9,366.08	45.24 %
Expenses				
512.100 Personnel Services	1,575.00	1,575.00	0.00	100.00 %
512.110 Taxes - FICA & Medicare	120.49	120.50	-0.01	99.99 %
512.300 General Operating Expense	401.43	966.67	-565.24	41.53 %
512.450 Insurance		4,583.33	-4,583.33	
513.300 Financial Operating Expenses	5.00	190.00	-185.00	2.63 %
513.310 Professional Svcs. - Accounting		708.33	-708.33	
513.320 Office Supplies		83.33	-83.33	
513.330 Dues & Memberships		125.00	-125.00	
514.310 Professional Services - Legal	13,949.47	1,666.67	12,282.80	836.97 %
515.310 Planning Operating – Professional Services	790.20	125.00	665.20	632.16 %
521.300 Law Enforcement Contract	2,821.00	2,821.00	0.00	100.00 %
521.302 Law Enforcement Contract Secondary		0.00	0.00	
531.300 Electric Utility Services	244.77	300.00	-55.23	81.59 %
534.300 Garbage/Solid Waste Control Svc	1,269.39	1,249.58	19.81	101.59 %
539.300 Physical Environment - Other		41.67	-41.67	
574.300 Contingencies		1,548.58	-1,548.58	
575.300 Code Enforcement	1,019.68	833.33	186.35	122.36 %
576.300 Planning Services/Advertising		166.67	-166.67	
Total Expenses	\$22,196.43	\$17,104.66	\$5,091.77	129.77 %
NET OPERATING INCOME	\$ -14,457.85	\$0.00	\$ -14,457.85	0.00%
NET INCOME	\$ -14,457.85	\$0.00	\$ -14,457.85	0.00%

Town of Belleair Shore

Budget vs. Actuals: Budget_FY26_P&L - FY26 P&L

October 2025 - August 2026

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
Income				
311.000 Ad Valorem Taxes	137,488.17	125,765.75	11,722.42	109.32 %
312.410 Local Option Gas Tax	1,657.17	1,879.13	-221.96	88.19 %
312.600 Infrastructure Tax	16,256.26	16,500.00	-243.74	98.52 %
315.000 Communications Services Taxes	1,457.93	1,898.38	-440.45	76.80 %
322.000 Building Permits	10,000.00	5,500.00	4,500.00	181.82 %
335.120 State Revenue Sharing	1,859.00	2,475.00	-616.00	75.11 %
335.180 Local Gov't. 1/2 Cent Sales Tax	4,847.85	5,716.37	-868.52	84.81 %
351.100 Court Fines	9,136.00	5,500.00	3,636.00	166.11 %
361.100 Interest	24,760.63	22,916.63	1,844.00	108.05 %
369.900 Miscellaneous Revenue	744.28	0.00	744.28	
389.000 Uncategorized Income		0.00	0.00	
Total Income	\$208,207.29	\$188,151.26	\$20,056.03	110.66 %
GROSS PROFIT	\$208,207.29	\$188,151.26	\$20,056.03	110.66 %
Expenses				
512.100 Personnel Services	17,287.50	17,325.00	-37.50	99.78 %
512.110 Taxes - FICA & Medicare	1,606.00	1,325.50	280.50	121.16 %
512.300 General Operating Expense	8,585.54	10,633.37	-2,047.83	80.74 %
512.450 Insurance	56,360.00	50,416.63	5,943.37	111.79 %
513.300 Financial Operating Expenses	1,777.00	2,090.00	-313.00	85.02 %
513.310 Professional Svcs. - Accounting	8,950.00	7,791.63	1,158.37	114.87 %
513.320 Office Supplies	1,093.50	916.63	176.87	119.30 %
513.330 Dues & Memberships	859.00	1,375.00	-516.00	62.47 %
514.310 Professional Services - Legal	42,981.67	18,333.37	24,648.30	234.45 %
515.310 Planning Operating – Professional Services	4,444.89	1,375.00	3,069.89	323.26 %
521.300 Law Enforcement Contract	31,031.00	31,031.00	0.00	100.00 %
521.302 Law Enforcement Contract Secondary	1,980.00	0.00	1,980.00	
531.300 Electric Utility Services	2,515.28	3,300.00	-784.72	76.22 %
534.300 Garbage/Solid Waste Control Svc	13,965.23	13,745.38	219.85	101.60 %
539.300 Physical Environment - Other	3,974.68	458.37	3,516.31	867.13 %
572.300 Gate Maintenance	64.10		64.10	
574.300 Contingencies		17,034.38	-17,034.38	
575.300 Code Enforcement	11,414.64	9,166.63	2,248.01	124.52 %
576.300 Planning Services/Advertising	744.40	1,833.37	-1,088.97	40.60 %
Total Expenses	\$209,634.43	\$188,151.26	\$21,483.17	111.42 %
NET OPERATING INCOME	\$ -1,427.14	\$0.00	\$ -1,427.14	0.00%
Other Expenses				
Reconciliation Discrepancies	-2,179.34		-2,179.34	
Total Other Expenses	\$ -2,179.34	\$0.00	\$ -2,179.34	0.00%
NET OTHER INCOME	\$2,179.34	\$0.00	\$2,179.34	0.00%
NET INCOME	\$752.20	\$0.00	\$752.20	0.00%

Town of Belleair Shore

Check Detail Report

August 2026

Transaction date	Transaction type	Num	Name	Description	Cleared	Amount
101.005 Valley Bank						
08/05/2026	Check	0293	Persson, Cohen, mooney, Fernandez & Jackson, P.A.	Invoice 7267	Reconciled	-2,422.61
08/05/2026	Check	0293	Persson, Cohen, mooney, Fernandez & Jackson, P.A.	Legal Services		2,422.61
08/05/2026	Check	0294	Dabiri Designs	Invoice 0064-2026-08	Reconciled	-148.75
08/05/2026	Check	0294	Dabiri Designs	Website Service		148.75
08/05/2026	Check	0295	Pinellas County Sheriff's Office	Inv. Code - 1814064 Inv. Law - 1804268	Reconciled	-3,840.68
08/05/2026	Check	0295	Pinellas County Sheriff's Office	Law Enforcement		2,821.00
08/05/2026	Check	0295	Pinellas County Sheriff's Office	Code Enforcement		1,019.68
08/05/2026	Expense		Intermedia	Invoice 2608057985 For billing period 7/2thru8/2026	Reconciled	-92.79
08/05/2026	Expense		Intermedia			92.79
08/14/2026	Payroll Check	DD	Mary Palmer	Pay Period: 08/11/2026-08/25/2026	Reconciled	-652.26
08/14/2026	Payroll Check	DD	Mary Palmer	Direct Deposit	Uncleared	-652.26
08/14/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Reconciled	-195.48
08/14/2026	Tax Payment		Intuit QuickBooks Workforce	Tax withdrawal	Uncleared	195.48
08/17/2026	Expense		Duke Energy	For Service July 15 thru August 13, 2026	Reconciled	-244.77
08/17/2026	Expense		Duke Energy			244.77
08/26/2026	Expense		Valley 1 Card		Reconciled	-164.89
08/26/2026	Expense		Valley 1 Card	Phone.storage.google		159.89
08/26/2026	Expense		Valley 1 Card	Pay		5.00
08/29/2026	Check	0296	Smolker Mathews, P. A.	Invoice 26-7027	Reconciled	11,526.86
08/29/2026	Check	0296	Smolker Mathews, P. A.	Legal Fees for ECL Appeal		11,526.86
08/29/2026	Check	0297	SafeBuilt/M.T. Causley, LLC	Invoice 4360942	Reconciled	-790.20
08/29/2026	Check	0297	SafeBuilt/M.T. Causley, LLC	Plan Review Service		790.20
08/31/2026	Expense		Waste Connections of Florida	Invoice 4433657W416	Reconciled	-1,269.39
08/31/2026	Expense		Waste Connections of Florida			1,269.39



Belleair Shores, FL, Town of
 Attn: Palmer, Mary
 1200 Gulf Blvd
 Belleair Shores, FL 337863351
 clerk@belleairshore.com

Invoice

Invoice Number: 4360942
Invoice Date: 7/31/2026
Terms: Net 30 Days
Due Date: 8/30/2026
Customer #: AJ-0012069
Customer PO #:

**Planning and Zoning Services
 Summary**

Description	Current Amount
Plan Review	\$790.20
Invoice Total	\$790.20

Supporting Detail**Plan Review**

Bruce Cooper | Multiple Licenses

Date	Units	Rate	Amount	Notes
7/6/2026	1.00	\$131.70	\$131.70	1060 gulf
7/9/2026	2.00	\$131.70	\$263.40	200 and 1060 gulf
7/13/2026	1.00	\$131.70	\$131.70	1060 Gulf
7/20/2026	1.00	\$131.70	\$131.70	1480 and 1520 Gulf
7/29/2026	1.00	\$131.70	\$131.70	1420 and 1440 Gulf
Subtotal	6.00		\$790.20	

Please remit to:
P.O BOX 919903
Orlando, FL 32891-9903

Net Invoice:	\$790.20
Freight:	\$0.00
Sales Tax:	\$0.00
Invoice Total:	\$790.20

Town of Belleair Shore

101.005 Valley Bank, Period Ending 08/31/2026

RECONCILIATION REPORT

Reconciled on: 09/05/2026

Reconciled by: clerkbelleairshore@gmail.com

Any changes made to transactions after this date aren't included in this report.

Summary

USD

Statement beginning balance	77,608.07
Interest earned	191.62
Checks and payments cleared (11)	-21,348.68
Deposits and other credits cleared (9)	5,360.85
Statement ending balance	61,811.86

Uncleared transactions as of 08/31/2026	-14,290.44
Register balance as of 08/31/2026	47,521.42
Cleared transactions after 08/31/2026	0.00
Uncleared transactions after 08/31/2026	-847.75
Register balance as of 09/05/2026	46,673.67

Details

Checks and payments cleared (11)

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
08/05/2026	Check	0293	Persson, Cohen, mooney, Fer...	-2,422.61
08/05/2026	Expense		Intermedia	-92.79
08/05/2026	Check	0295	Pinellas County Sheriff's Office	-3,840.68
08/05/2026	Check	0294	Dabiri Designs	-148.75
08/14/2026	Tax Payment		Intuit QuickBooks Workforce	-195.48
08/14/2026	Payroll Check	DD	Mary Palmer	-652.26
08/17/2026	Expense		Duke Energy	-244.77
08/26/2026	Expense		Valley 1 Card	-164.89
08/29/2026	Check	0297	SafeBuilt/M.T. Causley, LLC	-790.20
08/29/2026	Check	0296	Smolker Mathews, P. A.	-11,526.86
08/31/2026	Expense		Waste Connections of Florida	-1,269.39

Total -21,348.68

Deposits and other credits cleared (9)

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
08/04/2026	Deposit		Civitek	500.00
08/04/2026	Deposit		Civitek	500.00
08/04/2026	Deposit		Civitek	500.00
08/06/2026	Deposit		Clerk of the Circuit Court	831.00
08/11/2026	Deposit		State of Florida	133.45
08/18/2026	Deposit		State of Florida	146.45
08/20/2026	Deposit		State of Florida	133.47
08/26/2026	Deposit		State of Florida	457.19
08/31/2026	Deposit		Pinellas County BCC	2,159.29

Total 5,360.85

Additional Information

Uncleared checks and payments as of 08/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
08/02/2024	Expense	Inv. 53968	United Mini of Clearwater	-80.00
08/23/2024	Expense		United Mini of Clearwater	-80.00
09/30/2024	Journal	AJE - 04		-150.01
09/30/2024	Journal	AJE - 04		-176.60
10/15/2024	Expense		Verizon	-40.44

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
05/27/2026	Expense		Florida Municipal Insurance Tr...	-14,090.00
Total				-14,617.05

Uncleared deposits and other credits as of 08/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
04/30/2024	Deposit		State of Florida	150.01
04/30/2024	Deposit		State of Florida	176.60
Total				326.61

Uncleared checks and payments after 08/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
09/01/2026	Tax Payment		Intuit QuickBooks Workforce	-195.50
09/01/2026	Payroll Check	DD	Mary Palmer	-652.25
Total				-847.75

Town of Belleair Shore

Pool A, Period Ending 08/31/2026

RECONCILIATION REPORT

Reconciled on: 09/05/2026

Reconciled by: clerkbelleairshore@gmail.com

Any changes made to transactions after this date aren't included in this report.

Summary	USD
Statement beginning balance	668,926.72
Interest earned	2,186.11
Checks and payments cleared (0)	0.00
Deposits and other credits cleared (0)	0.00
Statement ending balance	671,112.83
Uncleared transactions as of 08/31/2026	0.00
Register balance as of 08/31/2026	671,112.83

Additional Information

Uncleared checks and payments as of 08/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
10/01/2023	Journal	Correct Florida Prime		-1,582.00
02/29/2024	Deposit		Florida Prime Investments Svc	-2,209.18
Total				-3,791.18

Uncleared deposits and other credits as of 08/31/2026

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
09/30/2023	Journal	10 Adjusting JE		1,582.00
02/08/2024	Journal	Closed Money Market		0.00
02/29/2024	Deposit		Florida Prime Investments Svc	2,209.18
Total				3,791.18



PINELLAS SUNCOAST FIRE RESCUE REPORT



REPORT

Susan Cain
980 Gulf Blvd
Belleair Shore, FL 33786

August 26, 2026

Town of Belleair Shore
Belleair Shore Town Hall
1200 Gulf Blvd
Belleair Shore, FL 33786

Subject: Request for Variance – Elevation of primary residence for FEMA compliance

Dear Members of the Town Commission:

I am writing to respectfully request a variance associated with the elevation of my primary residence located at 980 Gulf Blvd, Belleair Shore, FL to the current floodplain management requirements.

My home, which was built in 1973, has been elevated to the required height to meet current requirements for FEMA compliance. When the permit was requested and subsequently approved, little was known as the actual size of footings of my house. Now that the footings have been exposed, the width of these footings is known and they are larger than originally expected at the time of permitting. Additionally, the plumbing and electrical infrastructure that is under the house is now visible.

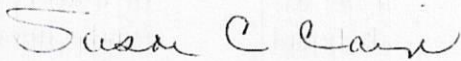
The second access to the home was planned as interior stairs that would be accessed through a cut in the original pad of the home. This area is on the first floor just inside the front wall of the house (reference office on the diagram). Now that this area under the house has been exposed, it has been determined that this location is not appropriate for the second access. The width of the footings in this area would force the stairs to be too narrow and the plumbing to all areas of the house including the second story bathrooms are critically located in this area.

As an alternative access to the second story of my home, an outside entrance could be constructed on the south side of the residence. These stairs would be placed so as to provide access to the existing side entrance (kitchen) of my home. A diagram has been included for your reference. These stairs would only be wide enough to meet permitting requirements but would require encroachment onto the side setback.

My request is for a variance that would allow encroachment onto the side setback of 1 foot, 11 inches. This variance would allow construction of the stairs for my second entrance without further major alterations to the existing structure of my home.

I am asking the Town to consider granting this variance which will allow me to complete the modifications needed to meet building codes for both Belleair Shore, Pinellas County and FEMA.

Respectfully,

A handwritten signature in cursive script that reads "Susan C Cain".

Susan C Cain
980 Gulf Blvd
Belleair Shore, FL 33786



To: Town Commission

From: Bruce Cooper, CBO, CFM *Bruce Cooper*

Date: September 15, 2026

Re: 980 Gulf Blvd
Variance Request

The applicant is requesting a variance from Section 46-125 of the Code of Ordinances to allow new stairs to the existing second floor to encroach into the required 10-foot side yard setback by approximately two feet. The applicant is Susan Cain located at 980 Gulf Blvd, Belleair Shores.

Section 46-85 of the Town's Code of Ordinances states "The town commission shall not grant variances from the requirements of any provision of this land development code unless it makes a positive finding, based on substantial competent evidence and weighing and balancing the merits of the request in consideration of the following criteria":

The variance request is not exclusively based upon a desire to reduce the cost of developing the subject site.

Staff Comment: Based on the applicant's application, it is obvious that the applicant is not requesting a variance based on costs considering the amount that she has already invested in bringing this home into compliance with the Town's Flood Ordinance.

The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire or other hazards to the public.

Staff Comment: A set of stairs would have no negative impact on the surrounding area.



The proposed variance will not diminish property values nor alter the essential character of the area surrounding the site.

Staff Comments: The applicant's development of elevating the home and installation of a set of stairs would increase property values do not diminish values.

Special conditions.

That special conditions and circumstances exist that are peculiar to the land, structure or building involved in the application.

Staff Comment: The applicant's home was built in 1973 and due to the recent hurricanes, has decided to elevate the structure to meet all Flood Requirements. The existing location of the home being elevated had to be done in the same location therefore, the applicant had no alternative to move the home to create any additional side yard area setback.

That the special condition or circumstance did not result from the actions or inaction(s) of the applicant.

Staff Comment: The home was built prior to the applicant purchasing the home.

***No special privilege.* That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other similar lands, buildings or structures in the same zoning district.**

Staff Comment: The applicant's request to have an additional set of stairs for means of egress does not confer any special privilege.

***Unnecessary hardship.* That there are practical or economic difficulties in carrying out the strict letter of the regulation and the literal interpretation of the provisions of this land development code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this land development code.**

Staff Comment: The fact that the home has been in its present location since 1973 provides a practical difficulty in moving the home to accommodate the home and meet all required side yard setbacks.



Minimum variance necessary. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

Staff Comment: Provides the stairs are built with a maximum width of three feet, which is required by the Florida Building Code, this would be the minimum variance to make possible reasonable use of the land.

Purpose and intent compliance. That the grant of the variance will be in harmony with the general intent, purpose, and spirit of this land development code, and with the city's comprehensive land use plan adopted pursuant to state law.

Staff Comment: This variance being the minimum variance being requested is in harmony with the general intent of the land development code. With the stairs as proposed, there will still be just over eight feet for the side yard.

No detriment to public welfare. That such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Staff Comment: This variance request would not be injurious or detrimental to the public welfare.

Staff Recommendation

Staff recommends that the variance be granted. Having additional means of egress, especially when located outside the home, provides a safer residence in case of a fire or other emergency.

**Bruce Cooper CBO, CFM
Floodplain Manager
727-263-8366**

[illegible]

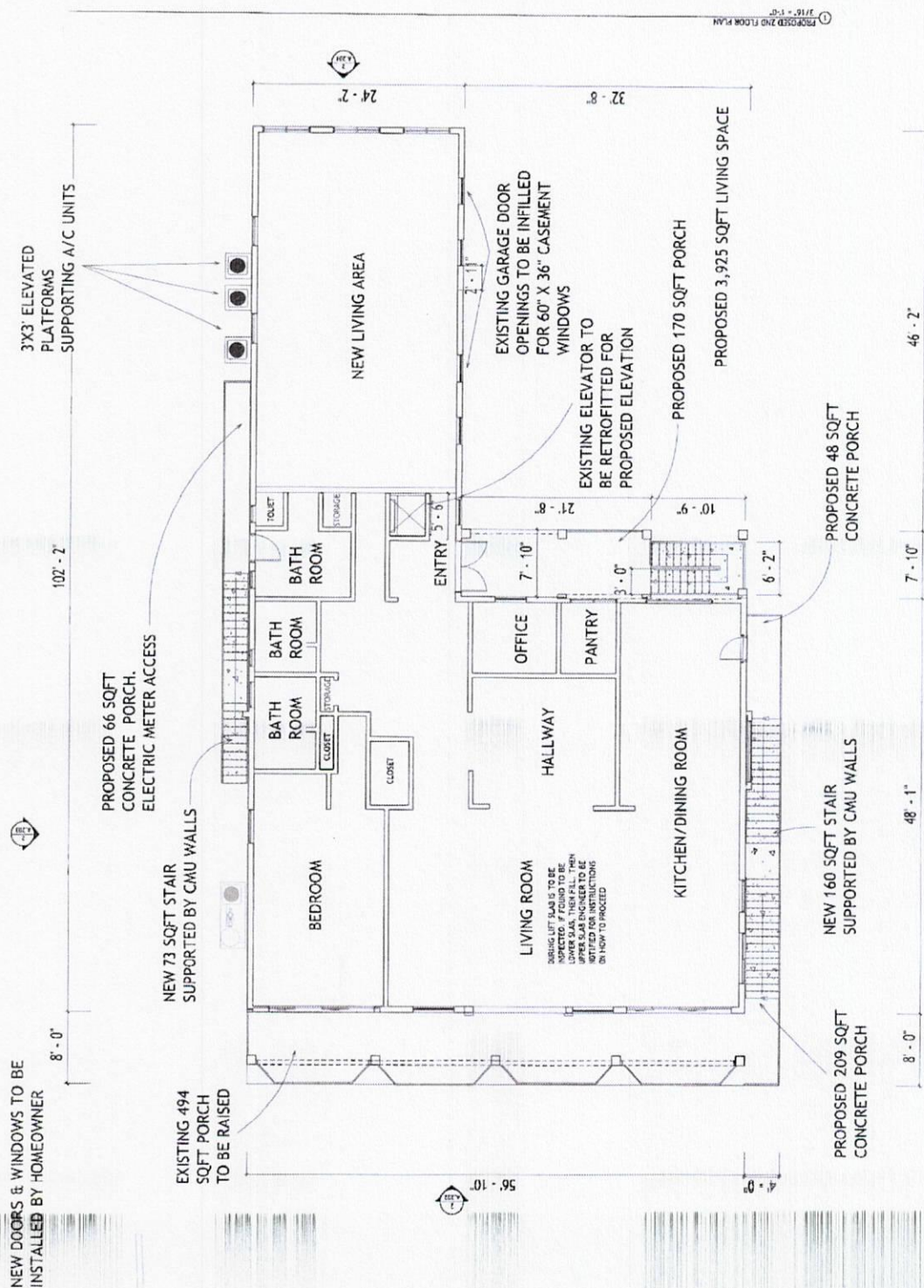
Modern Movers

980 GULF DR

PROPOSED 2ND
FLOOR PLAN

Project Number	2025.047
Date	7/2/2025
Drawn By	DRH
Decided By	RCB

A.104

 $3/16" = 1'-0"$ 

[illegible]

Modern Movers

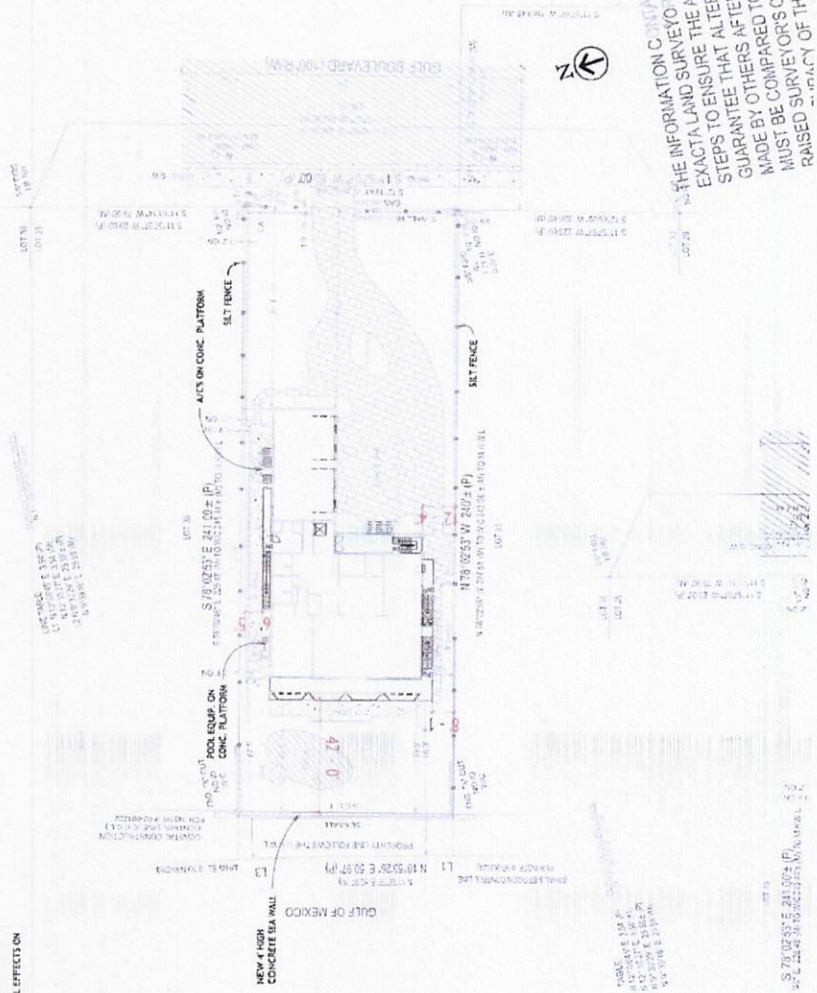
980 GULF DR

SITE PLAN

Project Number	2025.047
Date	7/2/2025

Drawn By	DRH
Checked By	

C.102

Scale $1'' = 20.0'$ 

THE INFORMATION CONTAINED IN THIS SURVEY IS EXACTLY AS REPORTED BY THE RESPONDENTS. THE SURVEYOR'S CERTIFICATION OF THE ACCURACY OF THE INFORMATION CONTAINED IN THIS SURVEY IS BASED ON THE ASSUMPTION THAT THE RESPONDENTS HAVE PROVIDED THE INFORMATION ACCURATELY.

SITE NOTES

- EXISTING AND PROPOSED PLANS ARE BASED UPON SURVEY INFORMATION PROVIDED TO THE AGENT, ARCHITECT OR BUILDING AGENCY, INC., AND SUCH MAY VARY FROM INFORMATION THE AGENT HAS AVAILABLE.
- EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, SEWER, GAS, AND TELEPHONE LINES, SHALL BE LOCATED AND DEPTH DETERMINED BY THE AGENT, ARCHITECT OR BUILDING AGENCY, INC., PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITIES SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, SEWER, GAS, AND TELEPHONE LINES, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH THE GOVERNING MUNICIPALITY TO FACILITATE ENGINEERING DEPARTMENT REGARDING ANY NECESSARY ROAD CLOSURES.
- THE CONTRACTOR SHALL MAINTAIN EXISTING LANDSCAPE AND PLANT MATERIALS, INCLUDING BUT NOT LIMITED TO, TREES, SHRUBS, AND GRASS, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT THE SAME THROUGHOUT THE COURSE OF THE WORK. REPLACE NURS, GRASS, AND SOIL LOSS COMPLETION.
- THE REMOVAL OF THE PROPERTY AS SHOWN SHALL NOT HAVE ADVERSE PHYSIOLOGICAL EFFECTS ON ADJACENT PROPERTY.

SETBACKS	LEGAL	EXIST.
FRONT YARD	50'	75.4'
REAR YARD	50'	65.3'
SIDE YARD (LEFT)	10'	12'
SIDE YARD (RIGHT)	10'	11.2'

PERVIOUS SURFACE RATIO

EXISTING	0.97% SQ. FT.
BUILDING FOOT PRINT:	0 SQ. FT.
DRINKING & CULVERTS:	529 SQ. FT.
COL. &/OR PAVT AREAS:	1,972 SQ. FT.
WALKWAYS:	N/A
THR:	
TOTAL EXISTING:	9,077 SQ. FT.

.....

7,914 SQ. FT.	7,914 SQ. FT.
0 SQ. FT.	0 SQ. FT.
528 SQ. FT.	528 SQ. FT.
1,896 SQ. FT.	1,896 SQ. FT.
N/A	N/A
10,339 SQ. FT.	10,339 SQ. FT.

T AREA: _____

ST LOT IMPRV. COVERAGE	9,077 SQ FT
ST IMPRV. PERCENTAGE	47 %
OP LOT IMPRV. COVERAGE	10,319 SQ FT
OP IMPRV. PERCENTAGE	54 %

USING COMPUTERS

SINK ELEVATIONS		MAY 1966	
WEST ADJACENT GRADE	6.5 FT		
EAST ADJACENT GRADE	8.5 FT		
15' FLOOD ELEVATION	10 FT		
15' FLOOD ELEVATION	11 FT		
ST. 250' ELEVATION	9.4 FT		
			18.4 FT

*ELEVATION CERTIFICATE PROVIDED BY THE SURVEYOR SHOWS A FIRM PANEL EFFECTIVE DATE OF 02/14/2025 FLOOD ZONE AE, BASE FLOOD ELEVATION OF 10' NAVD83.

[illegible]

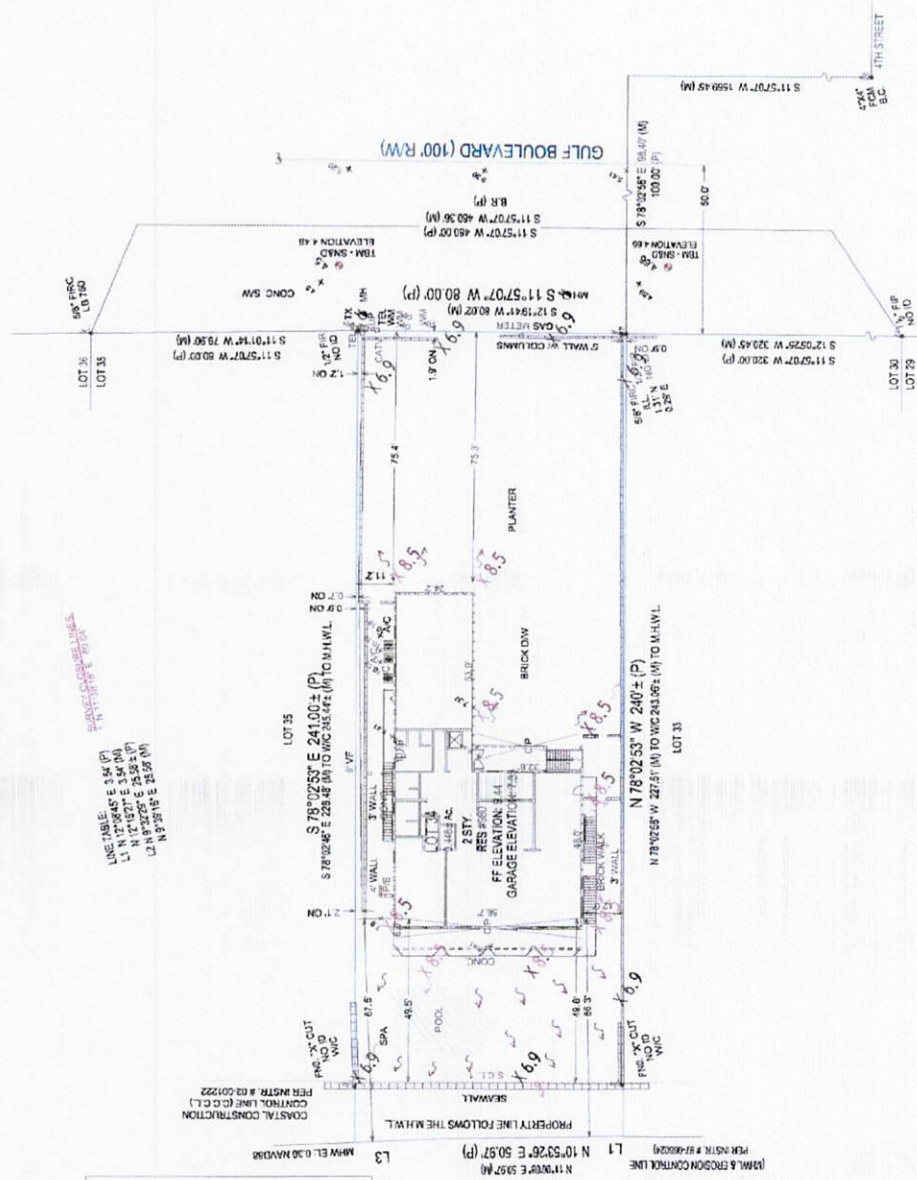
Modern Movers

980 GULF DR

DRAINAGE PLAN

Project Number	2025.047
Date	7/2/2025
Drawn By	DRH
Checked By	RCB

C.103

Scale $1/16'' = 1'-0''$ 

LEGEND

PROPOSED SWALE

EXISTING GRADE

PROPOSED GRADE

SHEET FLOW DIRECTION

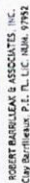
SHEET FLOW DIRECTION

SHEET FLOW DIRECTION

DOWNSPOUT

GUTTER

CATCH BASIN

[illegible]

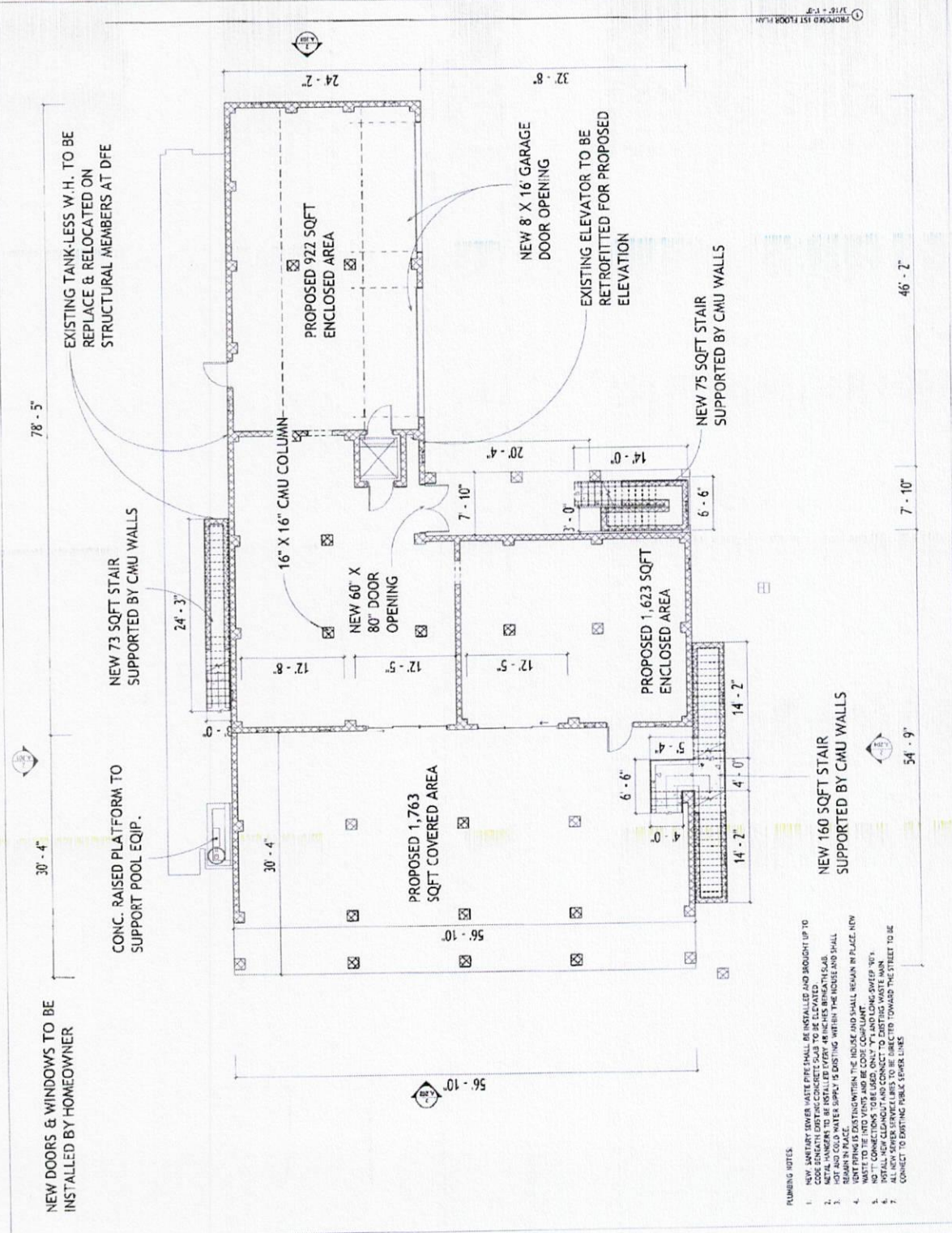
Modern Movers

980 GULF DR

PROPOSED 1ST
FLOOR PLAN

Project Number	2025.047
Date	7/2/2025
Drawn By	DRH
Checked By	RCB

A.103

$$\frac{3}{16}'' = 1'-0''$$


- FLOORING NOTES:**
1. NEW SANITARY SEWER WASTE PIPE SHALL BE INSTALLED AND BROUGHT UP TO CODE BENCHMARK EXISTING CONDITIONS SHALL BE TO BE ELEVATED.
 2. METAL HANGERS TO BE INSTALLED EVERY 48 INCHES BENEATH SLAB.
 3. HOT AND COLD WATER SUPPLY IS EXISTING WITHIN THE HOUSE AND SHALL REMAIN IN PLACE.
 4. VENT PIPING IS EXISTING WITHIN THE HOUSE AND SHALL REMAIN IN PLACE. NEW WASTE TO THE INTO VENT THROUGH ROOF.
 5. ALL EXISTING FLOORING TO BE REMOVED AND NEW FLOORING SHALL BE INSTALLED TO MATCH EXISTING WAREHOUSE FLOORING.
 6. ALL NEW SEWER LEVELS SHALL BE DIRECTED TOWARD THE STREET TO BE CONNECT TO EXISTING PUBLIC SEWER LINES.